

<b>CITY OF WESTMINSTER</b>			
<b>PLANNING APPLICATIONS COMMITTEE</b>	<b>Date</b> 3 November 2015	<b>Classification</b> For General Release	
<b>Report of</b> Director of Planning		<b>Wards involved</b> Bryanston And Dorset Square	
<b>Subject of Report</b>	<b>10B Montagu Mews West, London, W1H 2EE</b>		
<b>Proposal</b>	Erection of roof extension		
<b>Agent</b>	Neil Wilson Architects Limited		
<b>On behalf of</b>	Sir Peter Ellwood		
<b>Registered Number</b>	15/06674/FULL	<b>TP / PP No</b>	TP/1190
<b>Date of Application</b>	21.07.2015	<b>Date amended/ completed</b>	21.07.2015
<b>Category of Application</b>	Minor		
<b>Historic Building Grade</b>	Unlisted		
<b>Conservation Area</b>	Portman Estate		
<b>Development Plan Context</b> - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Within London Plan Central Activities Zone Outside Core Central Activities Zone		
<b>Stress Area</b>	Outside Stress Area		
<b>Current Licensing Position</b>	Not Applicable		

## 1. RECOMMENDATION

Grant conditional permission.





**10B Montagu Mews West, W1**

## 2. SUMMARY

10B Montagu Mews West is an unlisted single family dwelling house within a mews in the Portman Estate conservation area.

Planning permission is sought for the erection of a single storey roof extension.

The key issues for consideration are:

- Whether the additional storey would result in a material loss of residential amenity
- The impact of the roof extension on the character of the area

For the reasons set out in the main report, the application it is not considered that the additional storey would result in a material loss of amenity to adjoining neighbouring properties and the extension is considered acceptable in design terms. The proposal complies with the policies set out in the Unitary Development Plan (UDP) and Westminster's City Plan: Strategic Policies.

## 3. CONSULTATIONS

### THE MARYLEBONE ASSOCIATION

Object on the grounds of possible amenity problems and overlooking and loss of privacy to 48 Montagu Square.

### ENVIRONMENTAL HEALTH

No objections raised.

### ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 34; Total No. of Replies: 10 (from 8 respondents)

### ORIGINAL CONSULTATION

#### Design

- Detrimental impact on views into the mews,
- The extension would be an incongruous feature with the conservation area and fails to have regard to the adopted guidance on design.
- The wholly alien glazed structure is inappropriate in this location and provides an awkward relationship to the buildings on each site of the mews.
- The extension is dominated by a chimney stack which only draws attention to the non-traditional and awkward design of the addition.
- The extension would be substantially harmful to the Portman Estate conservation area to which there are no countervailing public benefits that outweigh the harm.
- The extension has no design merit which has been shoehorned into a small space.
- The roof terrace screens are large in scale, out of context with the setting and highly visible.

#### Amenity

- Overlooking.
- Loss of privacy.
- Loss of light.
- Overshadowing.
- Increased sense of enclosure.
- Increase in noise disturbance.
- The proposed extension and roof terrace screens are overbearing.

- The proposal is an over-development of the site.
- The extension would cause loss of light and overshadowing to the adjoining roof terrace.
- Light pollution from the rooflight.
- Daylight report fails to provide window plans, omits to include assessment of key windows and fails to assess the impact of the roof terrace screening.
- The proposed height of the chimney would impact on a further reduction in sunlight, daylight and overshadowing.
- The proposed roof surface is dark and depressing and will detract from the amenity of adjoining residents.

#### Other

- Loss of views.
- The terrace would increase security risks.
- Inaccuracies and misleading information within the documentation, and no reference to a roof terrace.
- Lack of consultation with neighbours.
- The existing flat roof cannot support heavy planters and could damage to the party wall from water ingress and cracking.
- The eastern roof terrace screen is outside the perimeter of the terrace railings and the only means of maintaining this screen would be from neighbouring properties (to which the applicant does not have access).

#### RE-CONSULTATION FOLLOWING REVISED PLANS (omitting roof terrace)

No. Consulted: 12; Total No. of Replies: 0

ADVERTISEMENT/SITE NOTICE: Yes

## 4. BACKGROUND INFORMATION

### 4.1 The Application Site

The application premises is a two storey mews building located on the northern side of Montagu Mews West, a cul-de-sac accessed from George Street to the south. The building is in use as a 3 x bedroom house, comprising living/dining room and kitchen at ground floor level with bedrooms and bathrooms on the first floor. The mews and surrounding area are primarily in residential use.

The building is not listed but lies within the Portman Estate Conservation Area.

### 4.2 Relevant History

None.

## 5. THE PROPOSAL

Planning permission is sought for the erection of a single storey roof extension to provide an additional bedroom. Initially the proposals also included the use of the flat roof of the existing building as a roof terrace, however, the application has been amended to remove the roof terrace.

## 6. DETAILED CONSIDERATIONS

### 6.1 Land Use

The additional residential floorspace is welcomed in policy terms.

## 6.2 Townscape and Design

The application site is a two-storey unlisted building in the Portman Estate Conservation Area. It is not noted as making any particular contribution to the character or appearance of the conservation area, but is designated as unsuitable for a roof extension in the conservation area audit. Its facades are of brickwork and it has a flat roof.

The building stands at the end of the street and terminates views along Bryanston Mews East from the north and Montagu Mews West from the south. Historic maps indicate that the building was originally two properties, back to back, and that division remains apparent internally although it is not readily apparent from outside. However, this does have some bearing on the suitability in principle of the building for a roof extension.

Buildings at the northern end of Montagu Mews West are not characterised by roof extensions, although there are plenty of roof terraces. However, many properties in Bryanston Mews East have been extended at roof level. Therefore, subject to its detailed design, a roof extension on the northern side of the building i.e. fronting Bryanston Mews East may be acceptable because it would not be incongruous or out of character with its surroundings.

The proposed roof extension is set on the northern side of the site and would be clearly visible from street level in Bryanston Mews East, because the ground rises towards Montagu Mews West. Objections have been raised to the impact of the extension in street views and to its detailed design. However, in street level views the roof would not appear incongruous because its detailed design is similar to that of others in the street. Therefore, in views from the north the roof extension will maintain the character and appearance of the conservation area and the setting of neighbouring listed buildings in accordance with UDP Policies DES 6, DES 9 and DES 10.

In views from the south, the roof extension is also visible, but sufficiently set back as to have no adverse impact in street level views and is therefore acceptable in design and heritage asset terms from this vantage point.

When seen from the upper floors of surrounding properties, the roof extension will be visible in the context of the much altered roofscape of both mews. Therefore, it will not be an unusual feature or out of character. Whilst objections have been raised on design grounds, given that the building is not listed, and in view of the inconsistent roofscape within the Mews, the extension is considered acceptable in design terms and, accordingly, the objections from neighbouring occupiers are not supported.

## 6.3 Amenity

Policies within the City Plan and the Unitary Development Plan (UDP) seek to protect and improve the residential environment. Proposals will be resisted where they result in a material loss of daylight/sunlight, particularly to existing dwellings. Developments should not result in a significant increase in the sense of enclosure or overlooking, or cause unacceptable overshadowing, particularly on gardens, public open space or on adjoining buildings, whether in residential or public use.

### 6.3.1 Daylight/Sunlight

Policy ENV13 seeks to ensure good daylighting levels for habitable rooms in existing premises. Recommended standards for daylight and sunlight in residential accommodation are set out in the Building Research Establishment (BRE) publication 'Site layout planning for

daylight and sunlight' (second edition 2011). The applicant has undertaken a daylight and sunlight assessment in accordance with the BRE guidelines.

The properties tested include No's 47 and 48 Montagu Square, Nos. 10-12 Bryanston Square, 1 Montagu Mews West and 11 and 13 Bryanston Mews all of which are residential properties. Objections have been raised on the grounds of loss of both sunlight and daylight, overshadowing and on the grounds that the sunlight report fails to consider the impact on key windows of adjoining residential properties. A revised sunlight/daylight report has been submitted which tests all adjoining residential windows which face the proposed extension (within 25 degrees).

With regard to daylight, Vertical Sky Component (VSC) is the most commonly used method for calculating daylight levels and is a measure of the amount of sky visible from the centre point of a window on its outside face. This method does not need to rely on internal calculations, which means it is not necessary to gain access to all the affected properties. If the VSC achieves 27% or more, then the BRE guide advises that the windows will have the potential to provide good levels of daylight. If, however, the light received by an affected window, with the new development in place, is both less than 27% and would be reduced by 20% or more as a result of the proposed development, then the loss would be noticeable.

In all cases there would be no material loss of daylight and no breach in BRE guidelines and it is not considered that the application could be refused on the grounds of loss of daylight.

In terms of sunlight, the BRE guidelines state that if any window receives more than 25% of the Annual Probable Sunlight Hours (APSH) including at least 5% during the winter months (21 September to 21 March) then the room should receive enough sunlight. The BRE guide suggests that any reduction in sunlight below this level should be kept to a minimum. If the proposed sunlight is below 25% (and 5% in winter) and the loss is greater than 20% of the original sunlight hours either over the whole year or just during the winter months, then the occupants of the existing building will notice the loss of sunlight. Windows are tested if they face within 90 degrees of due south.

At 47 Montagu Square (Flat 1) the lower ground floor living room window and an adjacent kitchen window would experience losses of annual sunlight of 29% and 33% respectively. No other neighbouring residential windows would be adversely affected. The occupier of this flat has raised concerns regarding the losses of sunlight. However, the high percentage changes are due the fact that existing levels of sunlight are already very low. These windows would only see an actual reduction of annual probable sunlight hours of 2% and 1%.

It is considered that within this urban built-up location, the levels of sunlighting retained are acceptable and the impact is not considered sufficient to justify a refusal.

### **6.3.2 Overshadowing**

Objections have been received on the ground that the extension would result in overshadowing of the adjoining terrace at 11 Bryanston Mews East. The BRE guidelines also address the matter of overshadowing to outdoor amenity spaces. The guidelines suggest that, in order to appear adequate throughout the year, at least half of a garden or amenity area should receive at least two hours of sunlight on 21 March. If, as a result of the development, the space does not attain these levels, and the area which can receive some two hours of sun on 21 March is less than 20% of its former value, then the loss of sunlight is likely to be noticeable.

The submitted daylight/sunlight report examines the issue of overshadowing to the adjoining terrace and provides a set of overshadowing images (existing and proposed). These images

show that 61% of the terrace is able to receive 2 hours sunlight and the scheme is therefore considered to comply with the advice in the BRE guidelines.

### **6.3.3 Overlooking**

The application initially proposed a roof terrace which would have caused direct overlooking of the adjoining properties, most notably with 48 Montagu Square. This has now been removed from the proposals. The drawings still show a door leading onto the flat roof of the existing building, however, access to this area is prevented by a 1.1m high metal railing. Conditions are proposed to ensure that access to this flat roofed area is for maintenance and means of escape only and not for any amenity purpose.

The proposed bedroom is served by one dormer window and a further two rooflights. The dormer window faces north and would be relatively close to bedroom windows within both 11 and 13 Bryanston Mews East and to the roof terrace at No.11. However, the proposed window does not directly face any nearby windows and therefore any overlooking would be from an oblique angle and as a result it is not considered that this would cause any significant loss of residential amenity. The occupiers of No. 11 also object to overlooking of their roof terrace. The proposed bedroom window would obliquely overlook the terrace area, however a high degree of mutual overlooking to this terrace already exists. This is a common feature in Central London and it is not considered that given the proximity of other overlooking windows to this terrace area that the location of the proposed bedroom window would be so significantly harmful to warrant refusal.

An obscurely glazed stair enclosure is proposed in the southern facing roof slope of the proposed extension. As this would not serve any habitable accommodation, subject to conditions to maintain the obscure glazing, this element of the application would not create overlooking to the adjoining property at 48 Montagu Square.

### **6.3.4 Sense of Enclosure/overdevelopment**

The roof extension would be directly opposite the rear (west) facing windows within 47 Montagu Square, due south of the bedroom window to 11 Bryanston Mews East and due north of bedroom windows to 10A Montagu Mews West. Objectors in 47 Montagu Square and the occupiers of 11 Bryanston Mews East are concerned about increased sense of enclosure, the overbearing nature of the extension and consider that the scheme represents an overdevelopment of the site. However, the roof extension is set back from the party wall with No. 47, and the design incorporates a mansard roof which slopes back from both 47 Montagu Square and 11 Bryanston Mews East. At roof level, the proposed extension is 10m from the rear elevation of 47 Montagu Square. Given the relationship with adjoining properties, it is not considered that the impact on sense of enclosure would be so significant as to warrant refusal.

### **6.3.5 Light Pollution**

Neighbours are concerned about the impact of light pollution and impact on the amenity of adjoining neighbours caused by the glazed stair enclosure. Policy ENV10 seeks to reduce light pollution, however, given the non-habitable status of the stair enclosure and the use of opaque glass, it is not considered that any light spill would be so harmful to adversely affect adjoining residential amenity.

### **6.3.6 Other amenity issues**

Neighbours are also concerned about the height of the proposed chimney and the use of lead and slate materials, which they consider would be dark, depressing and cause further loss of



amenity. Given that the main bulk of the roof extension is 10m from the rear of 47 Montagu Square, that the chimney is the same height of the proposed roof extension and that the sunlight/daylight report shows no significant loss of sunlight or daylight, it is not considered that the concerns raised would warrant refusal.

#### **6.4 Transportation/Parking**

The proposals would not result in any increase in residential units and there would therefore be no significant increase in demand for parking in the area.

#### **6.5 Economic Considerations**

Any economic benefits generated are welcomed.

#### **6.6 Access**

Access to the property is to remain unchanged.

#### **6.7 Other UDP/Westminster Policy Considerations**

None relevant.

#### **6.8 London Plan**

The proposal does not raise strategic issues and does not have significant implications for the London Plan.

#### **6.9 National Policy/Guidance Considerations**

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

#### **6.10 Planning Obligations**

The proposal is of insufficient scale as to trigger a requirement for planning obligations.

#### **6.11 Environmental Assessment including Sustainability and Biodiversity Issues**

The proposal is of insufficient scale as to require an Environmental Assessment.

## 6.12 Other Issues

A number of concerns were initially raised on the impact of the roof terrace, including the increase to security risks, the fact that the planters would cause damage to party walls, and the fact that the daylight assessment failed to consider the impact of the roof terrace screening. As the roof terrace has now been removed from the proposals these concerns are therefore no longer relevant.

Objections relating to the loss of private views are not a material planning consideration.

Neighbours also comment that there has been a lack of consultation by the developer. However, the City Council has undertaken a full consultation with all immediate neighbours.

## 7 Conclusion

The extension is not considered to result in a material loss of residential amenity, in terms of loss of daylight/sunlight, overlooking or increased sense of enclosure to neighbouring properties. The works would preserve the character and appearance of the Portman Estate Conservation Area and will not harm the setting of the adjoining listed buildings. The application is recommended for approval.

## BACKGROUND PAPERS

1. Application forms
2. Letters from the Marylebone Association dated 20 August and 12 October 2015
3. Memorandum from Environmental Health dated 2 September 2015
4. Letter on behalf of occupiers of Flats 2 and 3, 48 Montagu Square dated 15 August and 20 August 2015
5. Letter from occupier of 11 Bryanston Mews East dated 26 August 2015
6. Letters from occupier of Flat 3, 47 Montagu Square dated 24 August and 22 September 2015
7. Letter from occupier of 48 Montagu Square dated 1 September 2015
8. Letter from occupier of Flat 4, 47 Montagu Square dated 25 August 2015
9. Letter from occupier of Flat 2, 47 Montagu Square dated 23 August 2015
10. Letters from occupier of Flat 1, 47 Montagu Square dated 26 August and 15 September 2015

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT SARA SPURRIER ON 020 7641 3934 OR BY E-MAIL – [sspurrier@westminster.gov.uk](mailto:sspurrier@westminster.gov.uk)

**DRAFT DECISION LETTER**

**Address:** 10B Montagu Mews West, London, W1H 2EE

**Proposal:** Erection of roof extension

**Plan Nos:** P-2013.12.101, 102A, 103A, 200A, 201A, 300A, 301, 302, 303, 701, 702, 703, 704;  
Daylight and Sunlight report dated 14 October 2015; E-2013.12.100, 101, 102, 200,  
201, 300, 301, 302, 303; Design and Access Statement dated 21 July 2015

**Case Officer:** Josephine Palmer

**Direct Tel. No.** 020 7641 2723

**Recommended Condition(s) and Reason(s):**

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

**Reason:**

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- \* between 08.00 and 18.00 Monday to Friday;
- \* between 08.00 and 13.00 on Saturday; and
- \* not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

**Reason:**

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

**Reason:**

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Portman Estate Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 4 The glass that you put in the windows in the east facing elevation of the roof extension must not be clear glass, and you must fix it permanently shut. You must apply to us for approval of a sample of the glass (at least 300mm square). You must not start work on the relevant part of the development until we have approved the sample. You must then fit the type of glass we have approved and must not change it without our permission. (C21DB)

Reason:

To protect the privacy and environment of people in neighbouring properties. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 5 You must not use the flat roof of the existing dwelling for sitting out or for any other purpose. You can however use the roof for maintenance purposes or to escape in an emergency. (C21CA)

Reason:

To protect the privacy and environment of people in neighbouring properties, as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21AC)

- 6 You must apply to us for approval of detailed drawings of the following parts of the development - new windows and railings. You must not start any work on these parts of the development until we have approved what you have sent us.

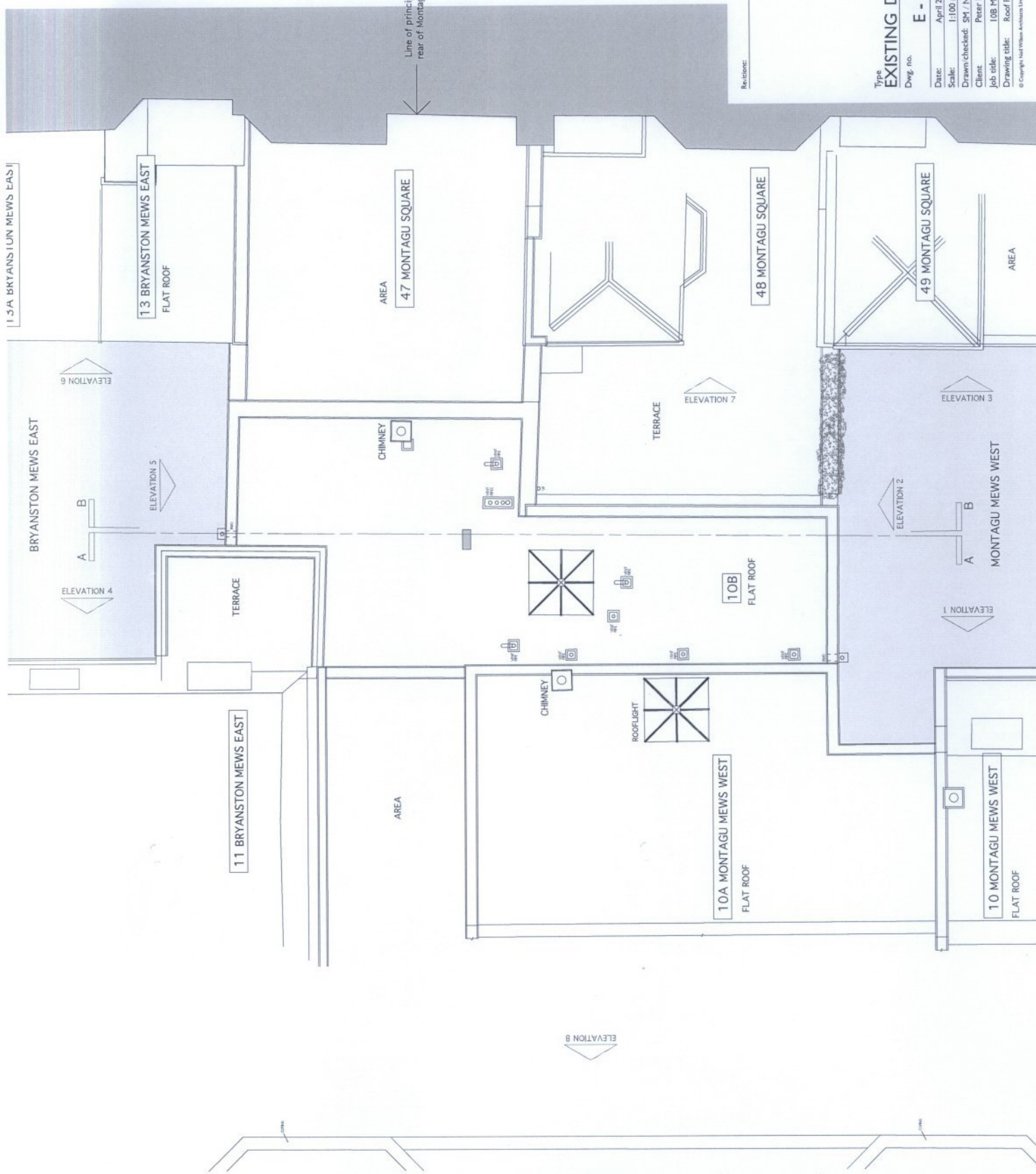
You must then carry out the work according to these approved drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Portman Estate Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

**Informative(s):**

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.



Revision: \_\_\_\_\_ Note: All dimensions in mm.

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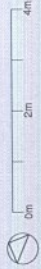
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Date: April 2014  
 Scale: 1:100 @ A3  
 Drawn checked: SM / NW  
 Client: Peter Ellwood  
 Job title: 10B Montagu Mews West  
 Drawing title: Roof Plan



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Line of principle facade rear of Montagu Square

Revisions: \_\_\_\_\_ Note: All dimensions in mm.

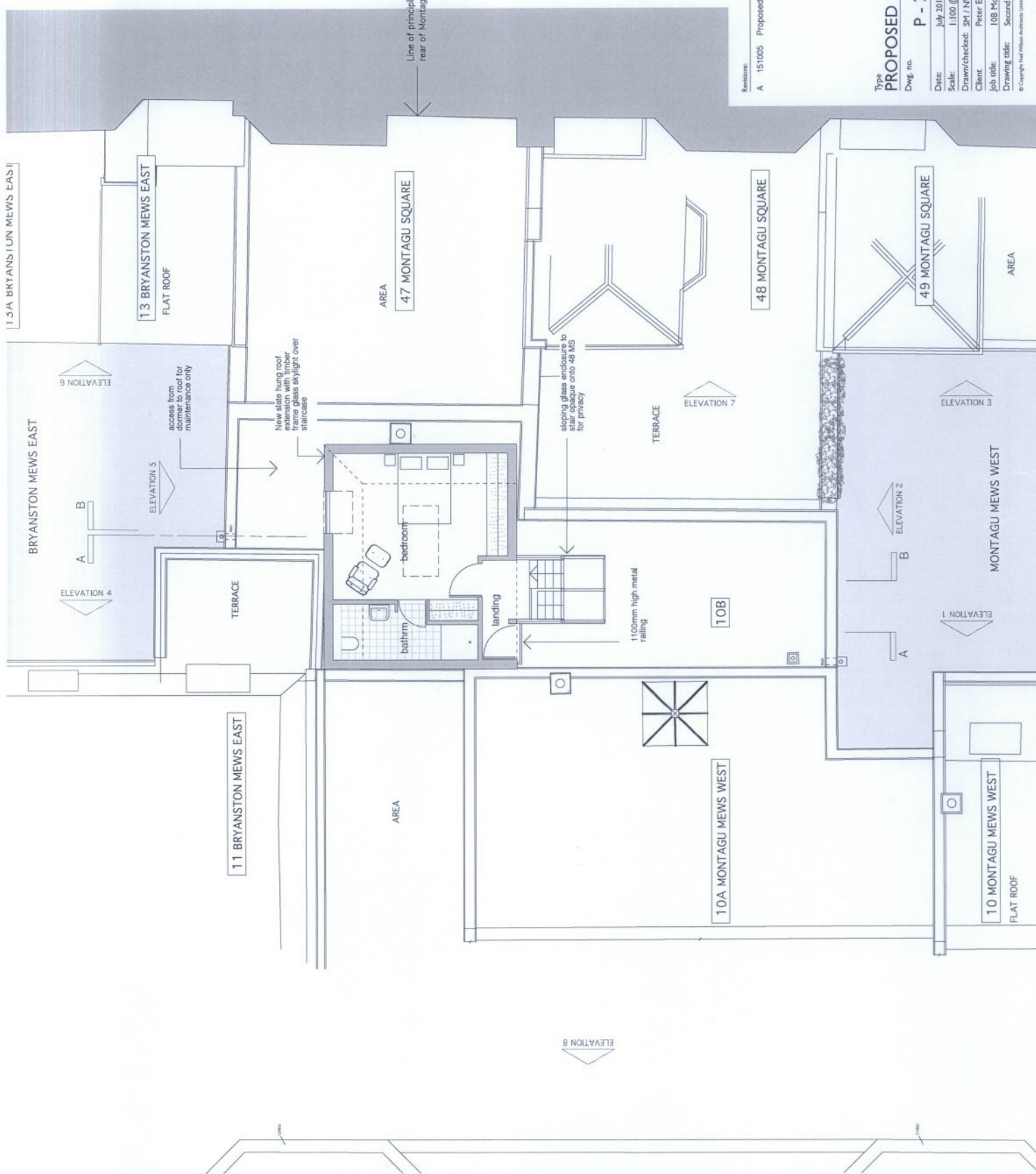


Type **PROPOSED DRAWING**

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Date: July 2015  
 Scale: 1:100 @ A3  
 Drawn/checked: SM / NW  
 Client: Peter Ellwood  
 Job title: 10B Montagu Mews West  
 Drawing title: First Floor Plan

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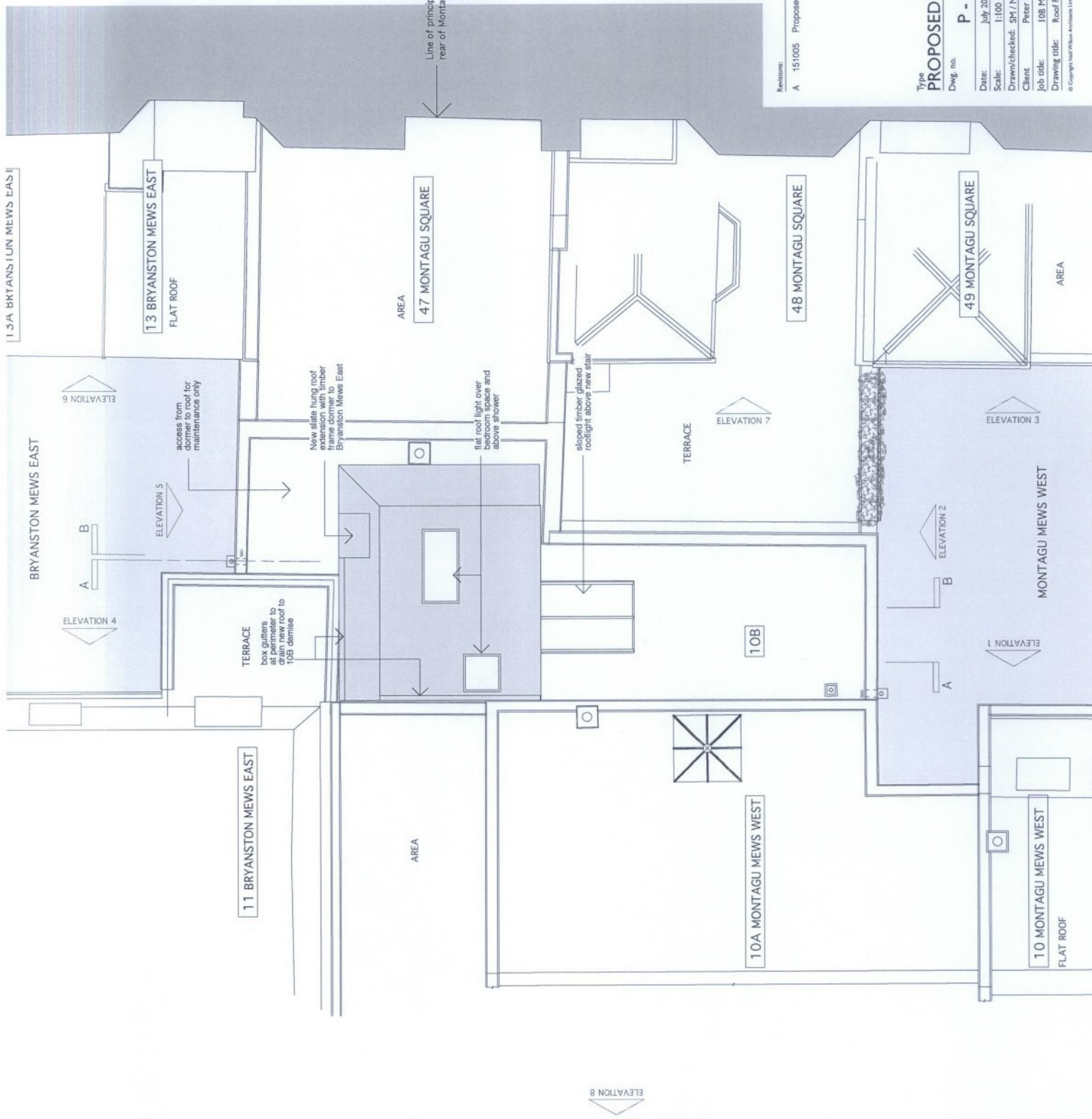
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 A 151005 Proposed roof terrace and green screening omitted

Type  
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 Dwg. no. **P - 2013.12.102A**

Date: July 2015  
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 Drawn/checked: SM / NW  
 Client: Peter Ellwood  
 Job title: 10B Montagu Mews West  
 Drawing title: Second Floor Plan  
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Revisions:  
 A 15/10/05 Proposed roof terrace and green screening omitted

Notes: All dimensions in mm.

Type  
**PROPOSED DRAWING**

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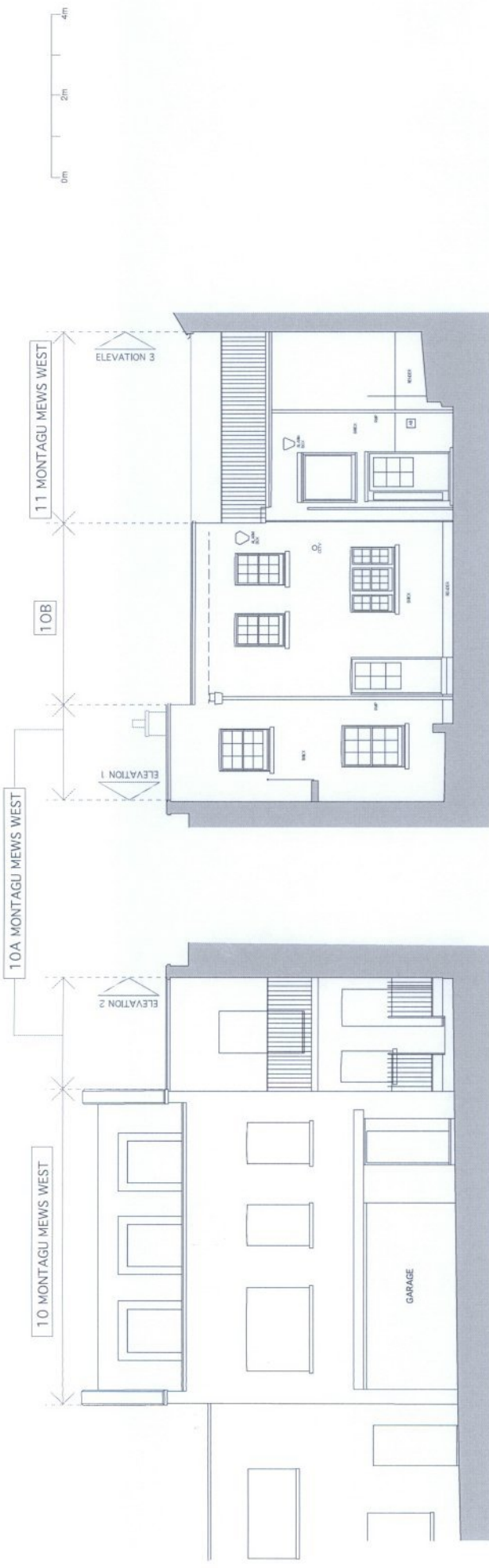
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 Client: Peter Ellwood  
 Job title: 10B Montagu Mews West  
 Drawing title: Roof Plan



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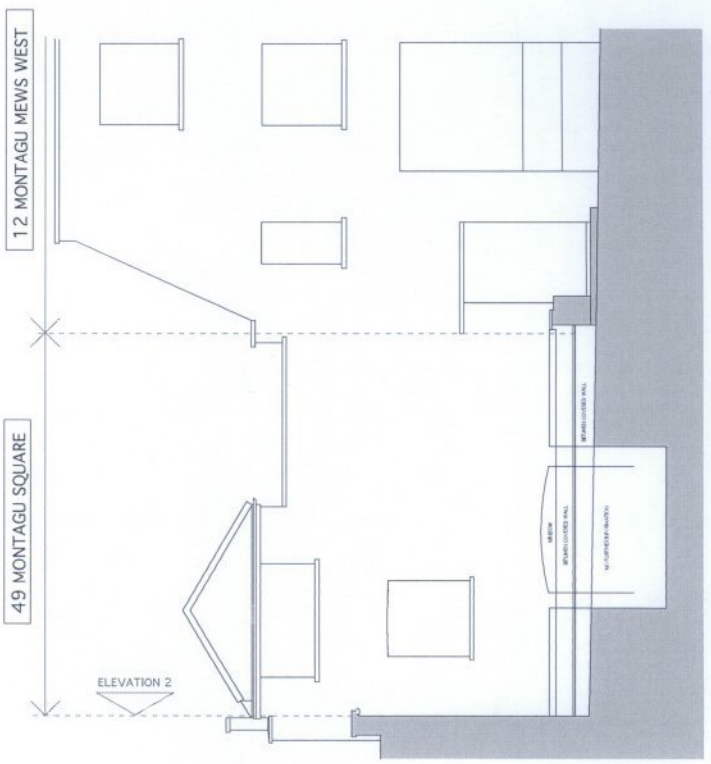
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ELEVATION 1 - Montagu Mews West looking west

ELEVATION 2 - Montagu Mews West: Elevation of 10B



ELEVATION 3 - Montagu Mews West looking east

Revisions: \_\_\_\_\_  
 Note: All dimensions in mm.

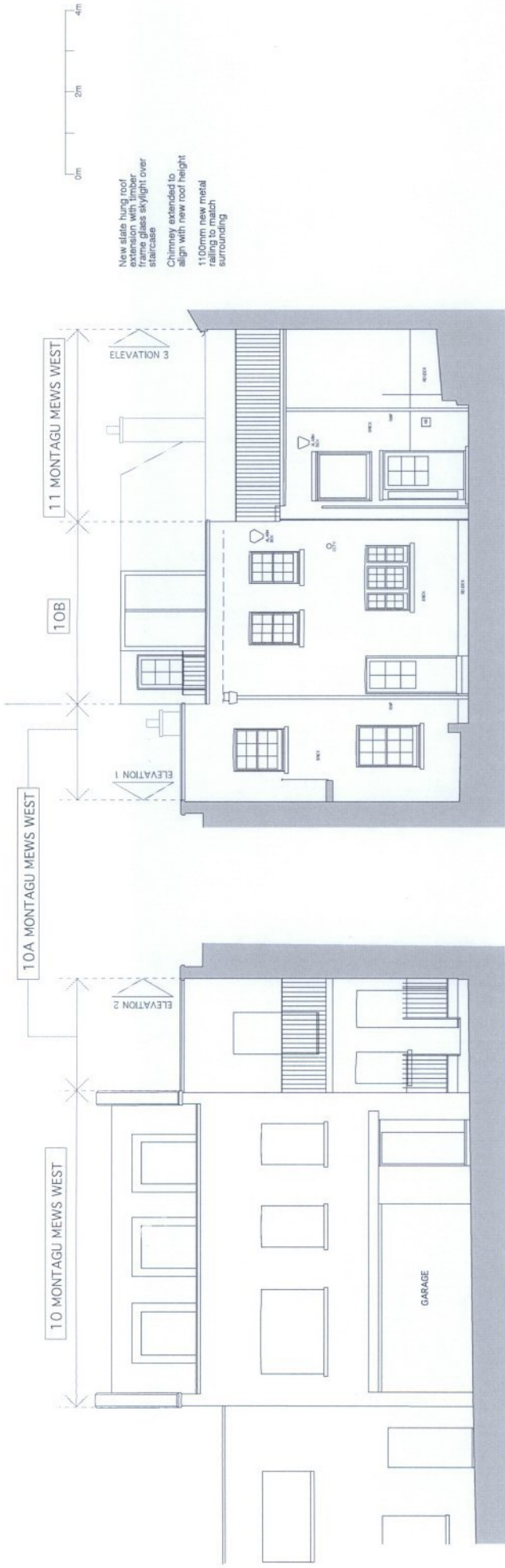


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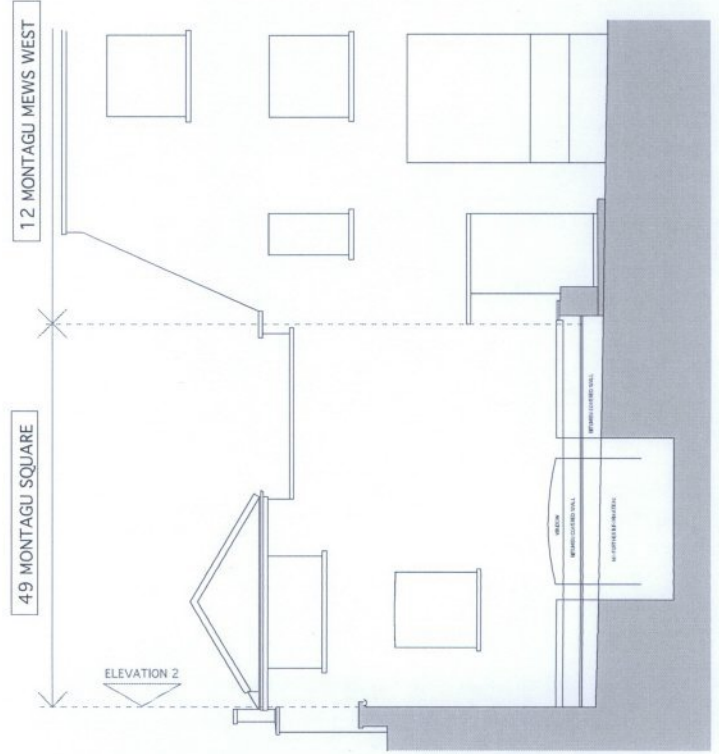
Date:	April 2014
Scale:	1:100 @ A3
Drawn/checked:	SM / ANW
Client:	Peter Ellwood
Job title:	10B Montagu Mews West
Drawing title:	Elevation Sheet 1

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ELEVATION 2 - Montagu Mews West: Elevation of 10B

ELEVATION 1 - Montagu Mews West looking west



ELEVATION 3 - Montagu Mews West looking east

Revisions: A 151005 Proposed roof terrace and green screening omitted

Note: All dimensions in mm.



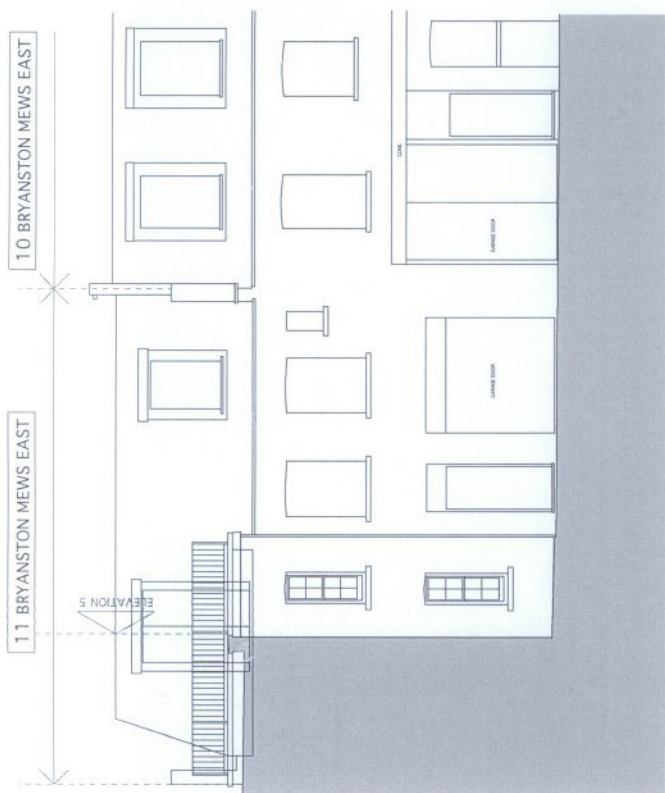
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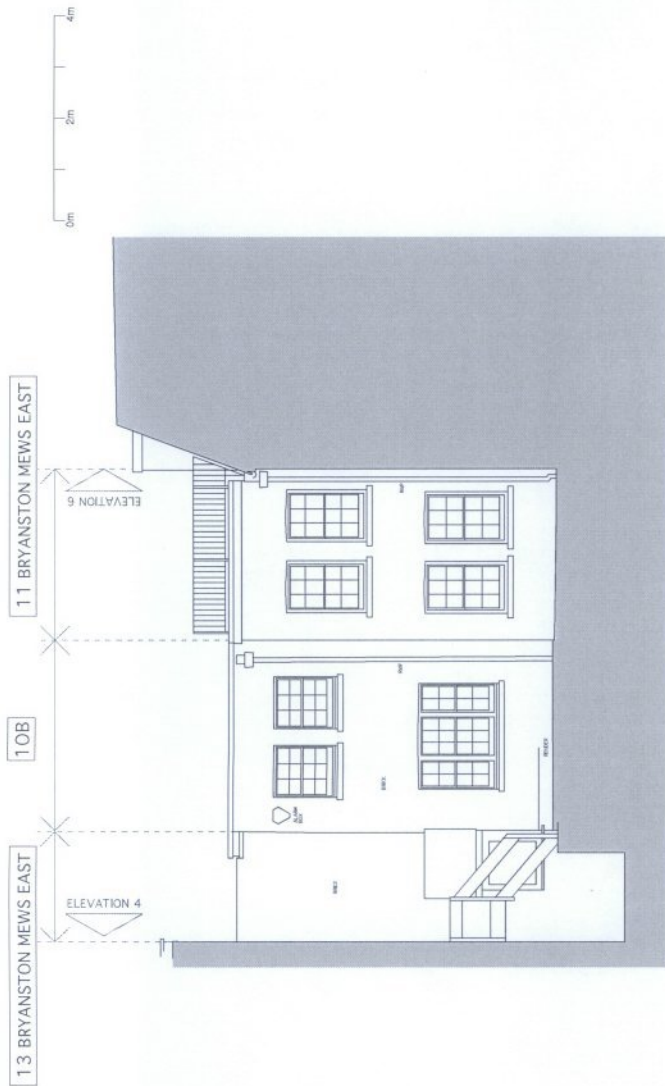
Date:	July 2015
Scale:	1:100 @ A3
Drawn/checked:	SM / NW
Client:	Peier Ellwood
Job title:	10B Montagu Mews West
Drawing title:	Elevation Sheet 1

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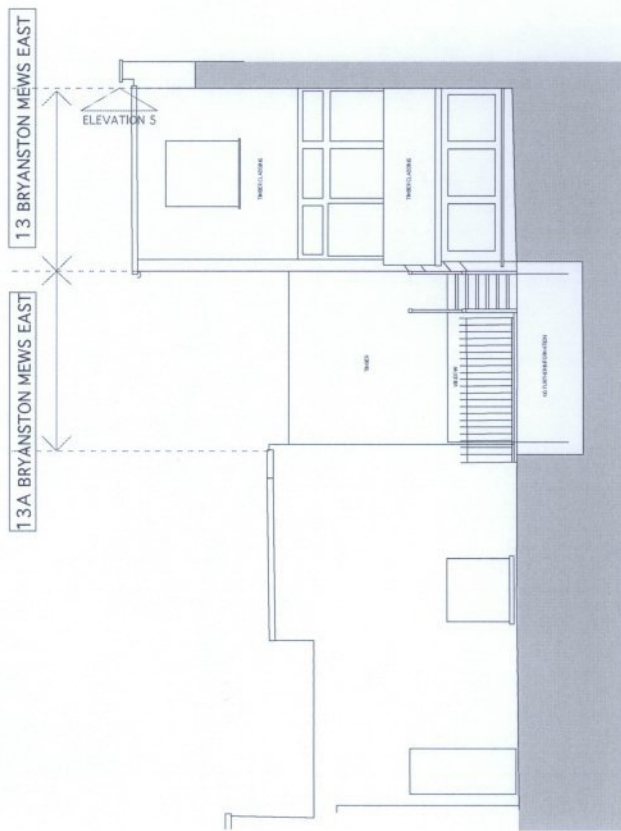
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ELEVATION 4 - Bryanston Mews East looking west



ELEVATION 5 - Bryanston Mews East: Elevation of 10B



ELEVATION 6 - Bryanston Mews East looking east

Revisions: \_\_\_\_\_  
 Notes: All dimensions in mm.



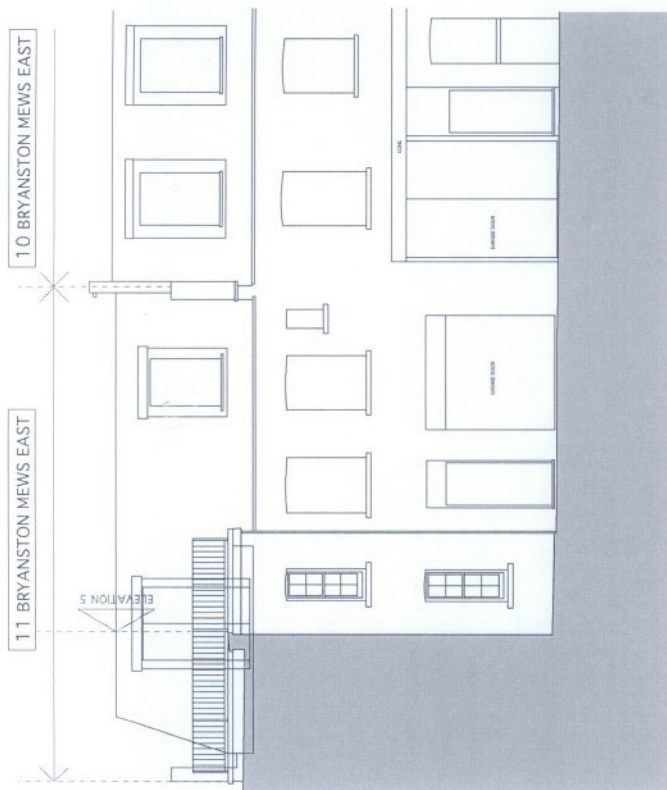
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Dwg. no. **E - 2013.12.301**

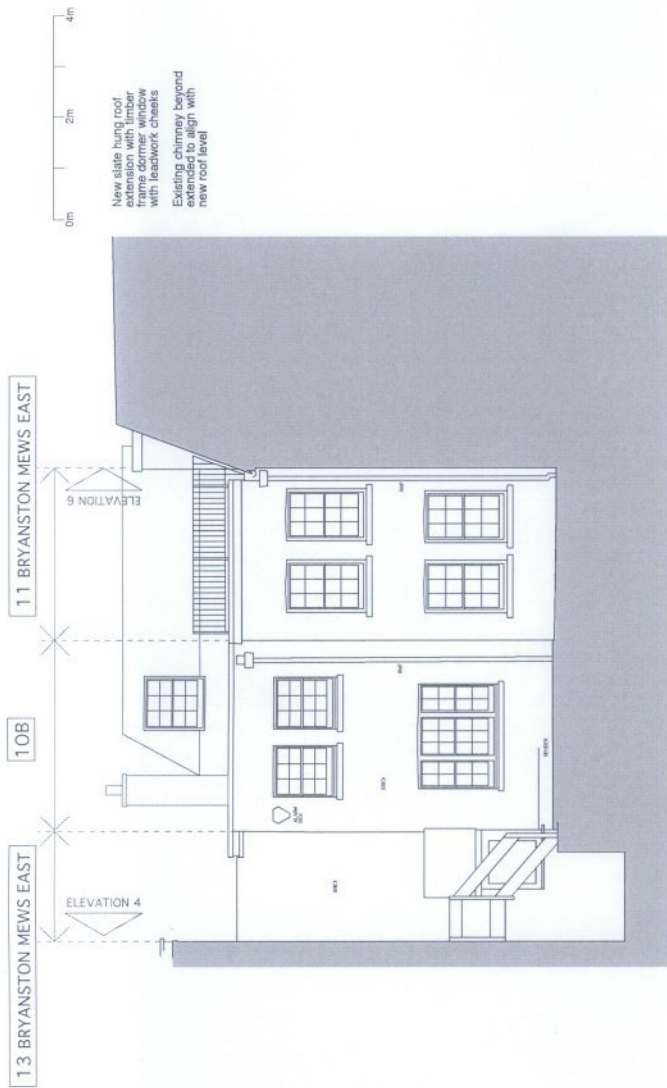
Date: April 2014  
 Scale: 1:100 @ A3  
 Drawn/checked: SM / NW  
 Client: Peter Ellwood  
 Job title: 10B Montagu Mews West  
 Drawing title: Elevation Sheet 2

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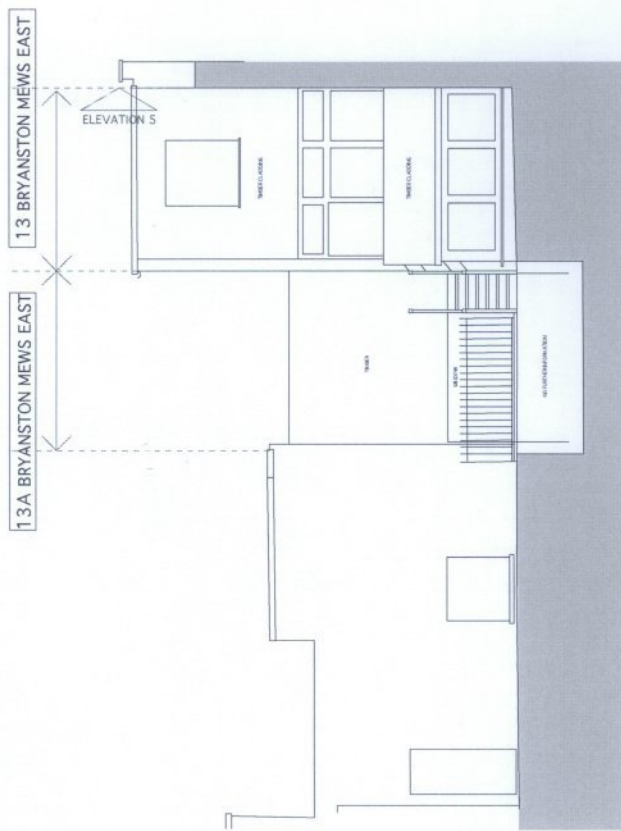
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ELEVATION 4 - Bryanston Mews East looking west



ELEVATION 5 - Bryanston Mews East: Elevation of 10B



ELEVATION 6 - Bryanston Mews East looking east

Revisions: \_\_\_\_\_  
Notes: All dimensions in mm.

Type  
**PROPOSED DRAWING**

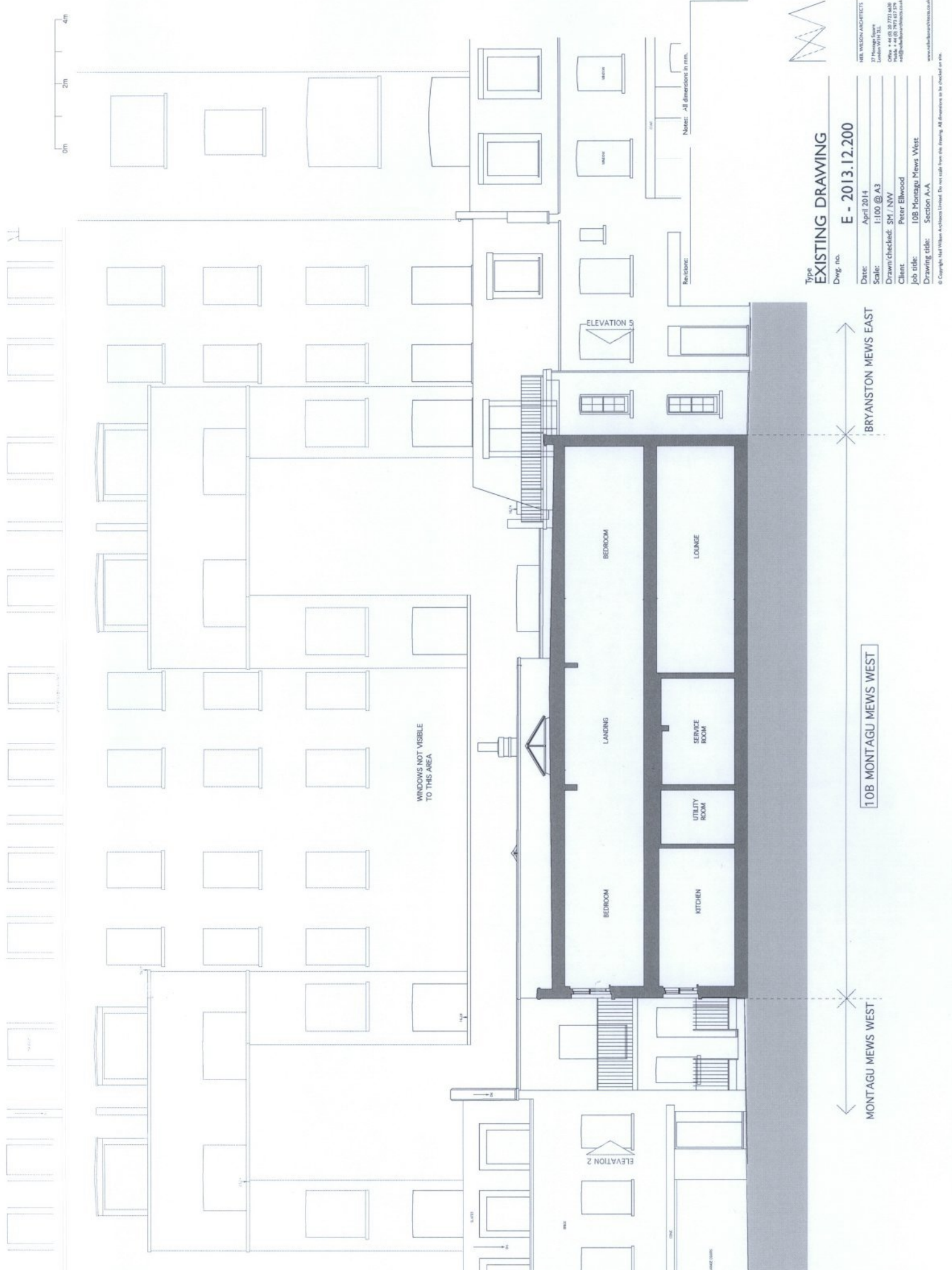
Dwg. no. **P - 2013.12.301**

Date:	July 2015
Scale:	1:100 @ A3
Drawn/Checked:	SM / NW
Client:	Peter Ellwood
Job title:	10B Montage Mews West
Drawing title:	Elevation Sheet 2



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0m 2m 4m

WINDOWS NOT VISIBLE TO THIS AREA

ELEVATION 5

ELEVATION 2

Notes: All dimensions in mm.

Revisions:



Type  
**EXISTING DRAWING**

Dwg. no. **E - 2013.12.200**

Date:	April 2014
Scale:	1:100 @ A3
Drawn/checked:	SM / ANW
Client:	Peter Ellwood
Job title:	10B Montagu Mews West
Drawing title:	Section A-A

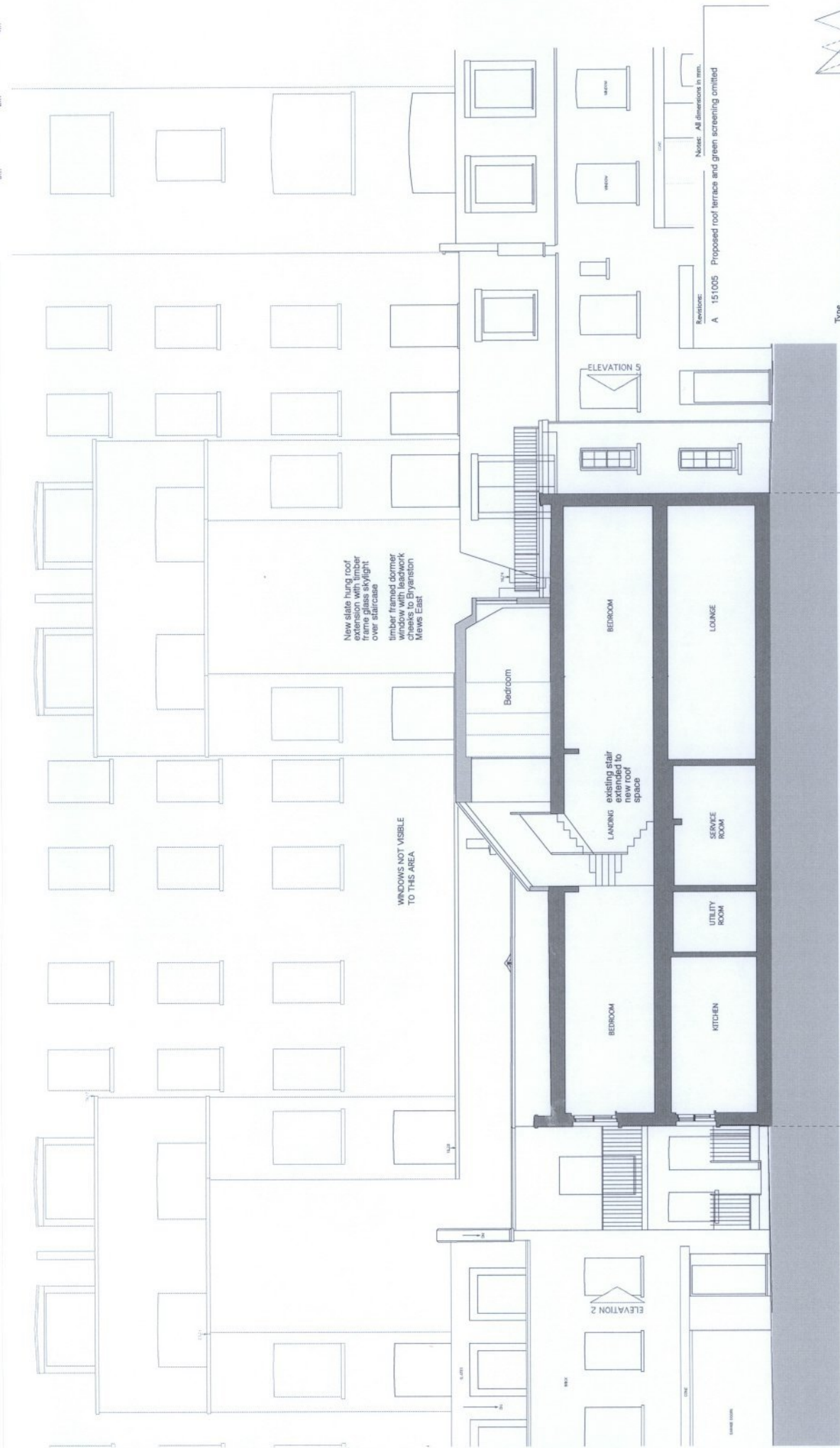
← BRYANSTON MEWS EAST

10B MONTAGU MEWS WEST

MONTAGU MEWS WEST →

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New slate hinged roof extension with timber frame glass skylight over staircase  
 timber framed dormer window with leadwork Chiese to Bryanston Mews East

WINDOWS NOT VISIBLE TO THIS AREA

ELEVATION 5

ELEVATION 2

Revisions:  
 A 151005 Proposed roof terrace and green screening omitted  
 Notes: All dimensions in mm.

Type **PROPOSED DRAWING**  
 Dwg. no. **P - 2013.12.200A**

Date: July 2015  
 Scale: 1:100 @ A3  
 Drawn/checked: SM / NW  
 Client: Peter Ellwood  
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 Drawing title: Section A-A



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0m 2m 4m

49 MONTAGU SQUARE

48 MONTAGU SQUARE

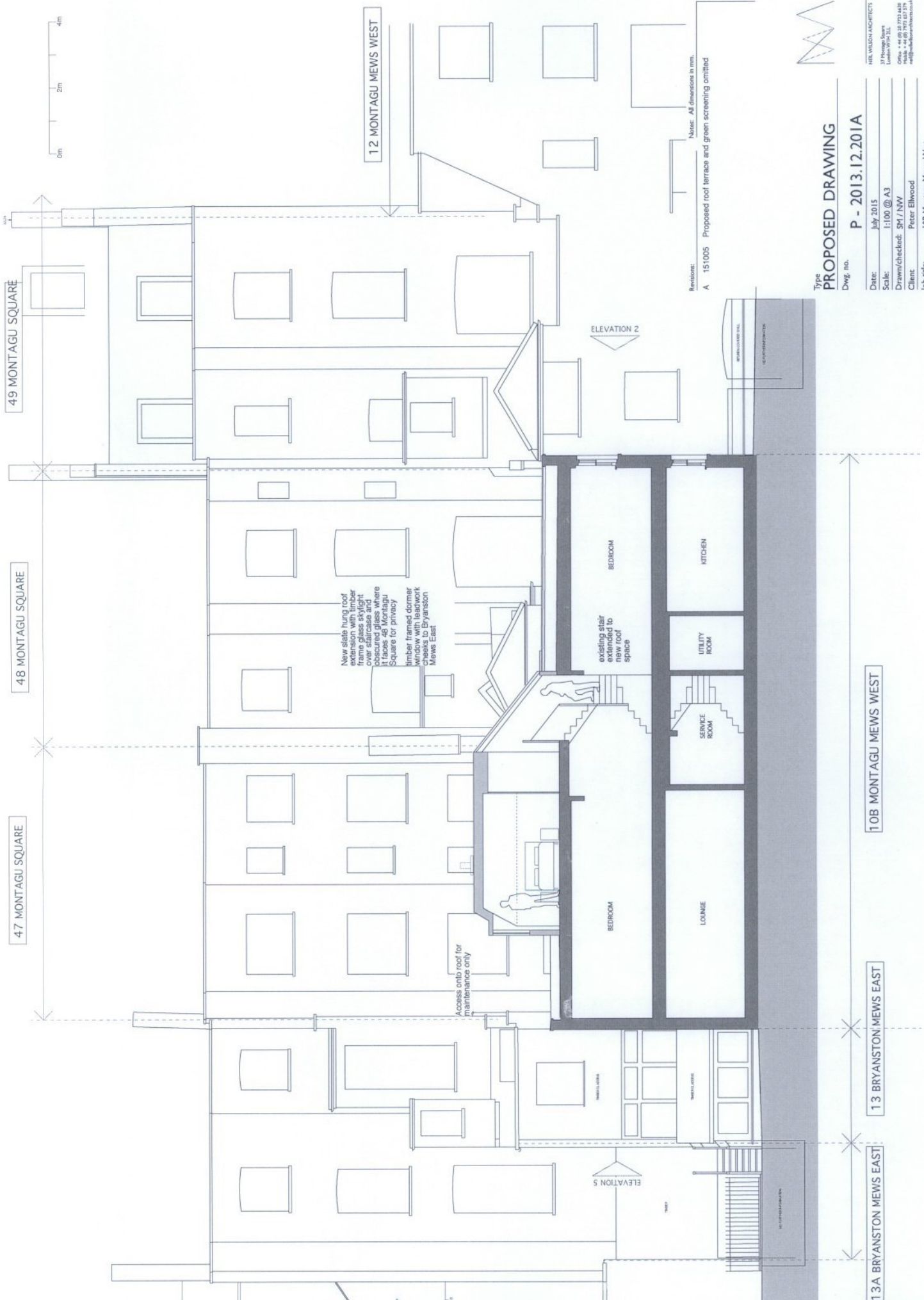
47 MONTAGU SQUARE

12 MONTAGU MEWS WEST

10B MONTAGU MEWS WEST

13 BRYANSTON MEWS EAST

13A BRYANSTON MEWS EAST



Revisions:  
 A 151005 Proposed roof terrace and green screening omitted  
 Notes: All dimensions in mm.



Type  
**PROPOSED DRAWING**

Dwg. no. **P - 2013.12.201A**

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 Scale: 1:100 @ A3  
 Drawn/Checked: SM / NW  
 Client: Peter Ellwood  
 Job title: 10B Montagu Mews West  
 Drawing title: SECTION B-B

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